

2504 41st ST NW

CONCEPT DESIGN PACKAGE
9 UNIT APARTMENT BUILDING



 COVER PAGE

A0

2504 41ST STREET NW

PLEASANT PLAINS

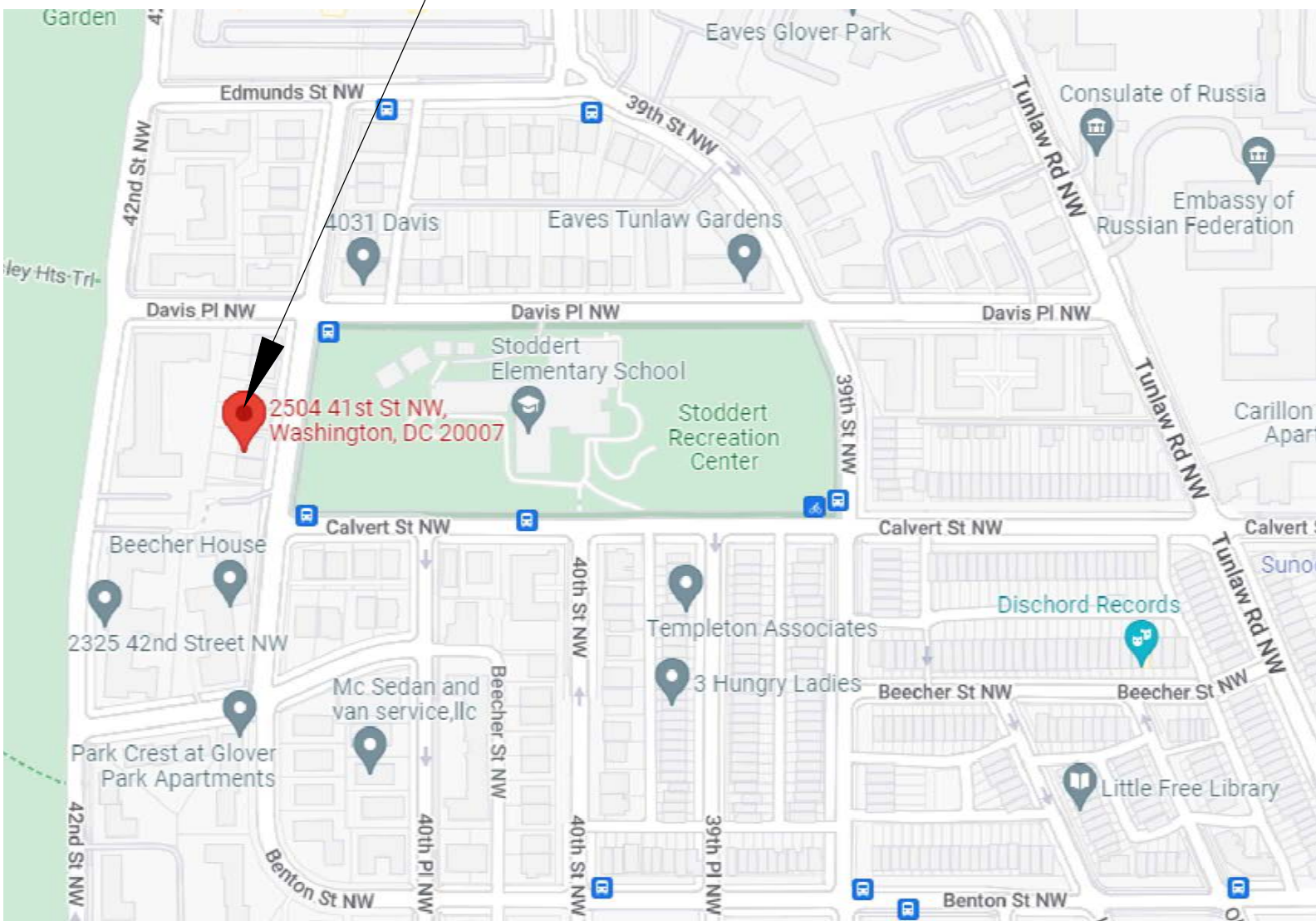

RAM DESIGN
ARCHITECTS + ENGINEERS

ARIAL VIEW



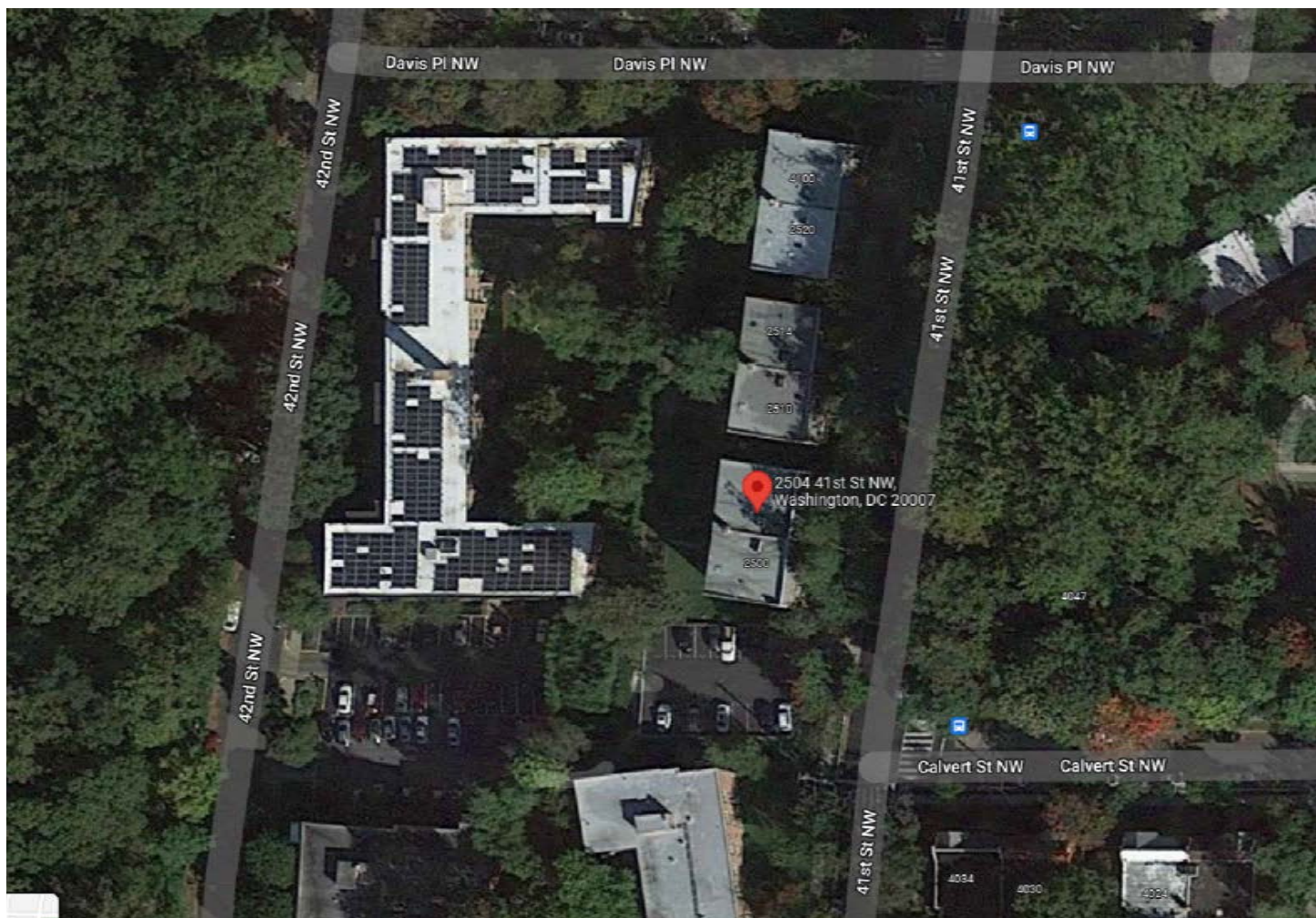
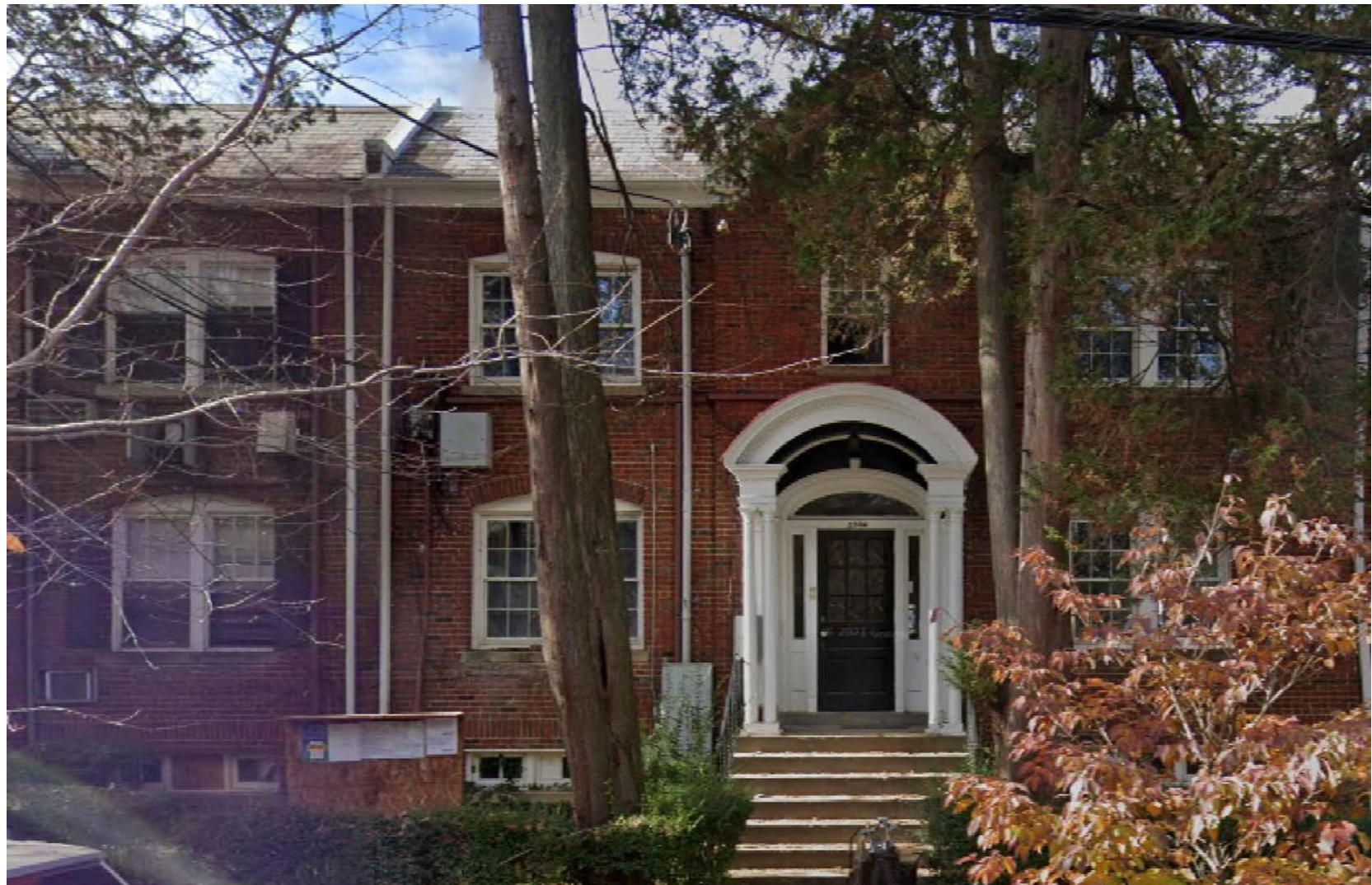
2504 41ST

SQUARE: 1708 LOT:0005
SUBJECT PROPERTY: RECORD LOT



REAR ALLEY - PARKING
ACCESS

EXISTING BUILDING PHOTOS

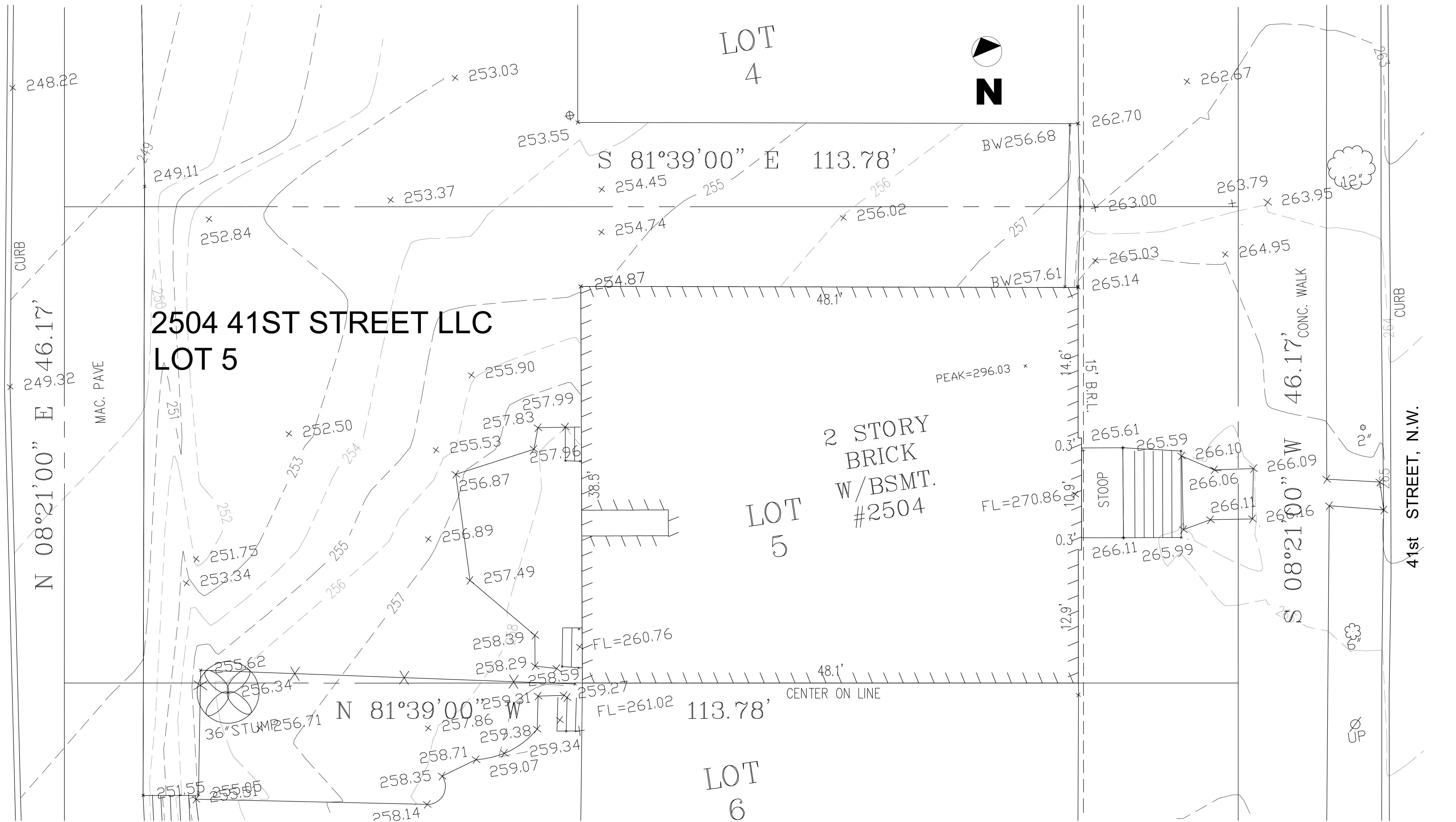


VICINITY MAP
ARIAL VIEW

A01

2504 41ST STREET NW
PLEASANT PLAINS





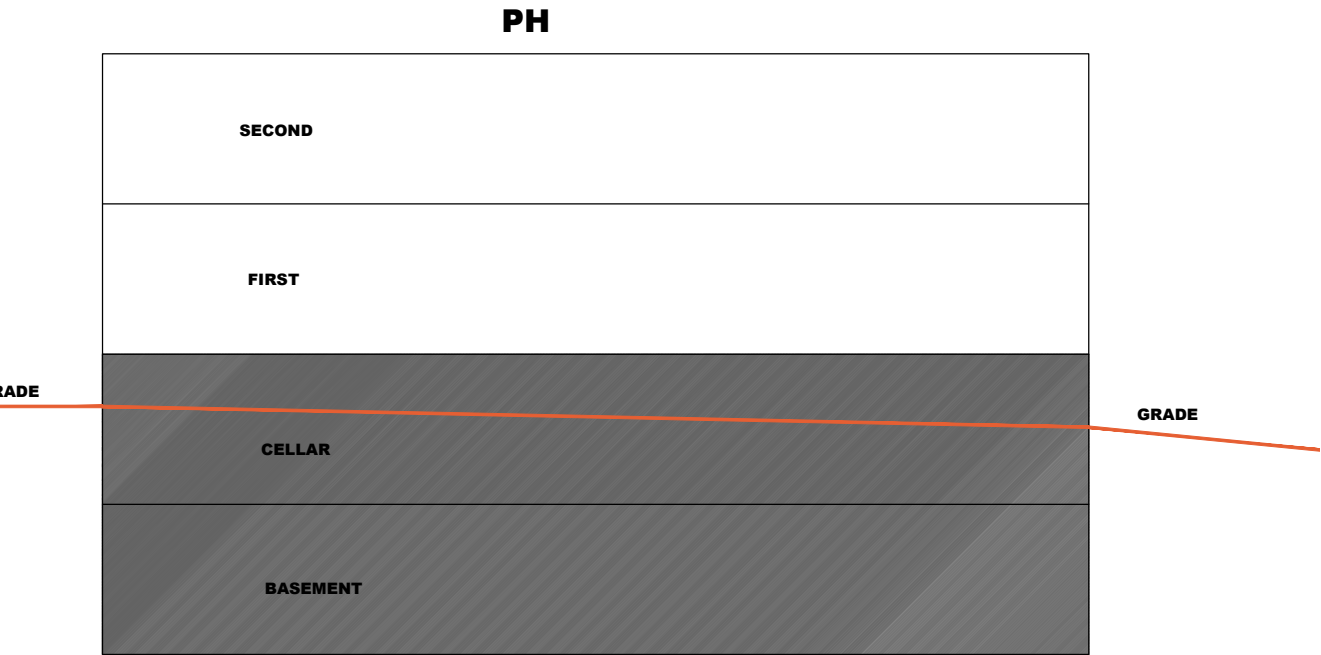
EXISTING SITE PLAN
SCALE: 1/4" = 1'-0"

A02

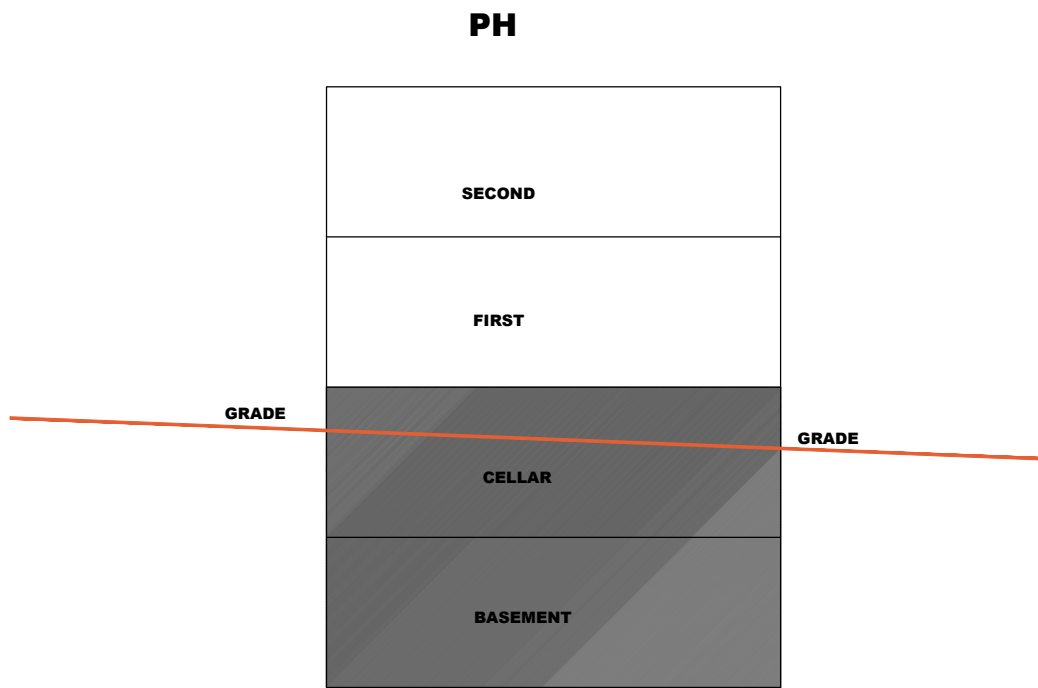
2504 41ST STREET NW

PLEASANT PLAINS

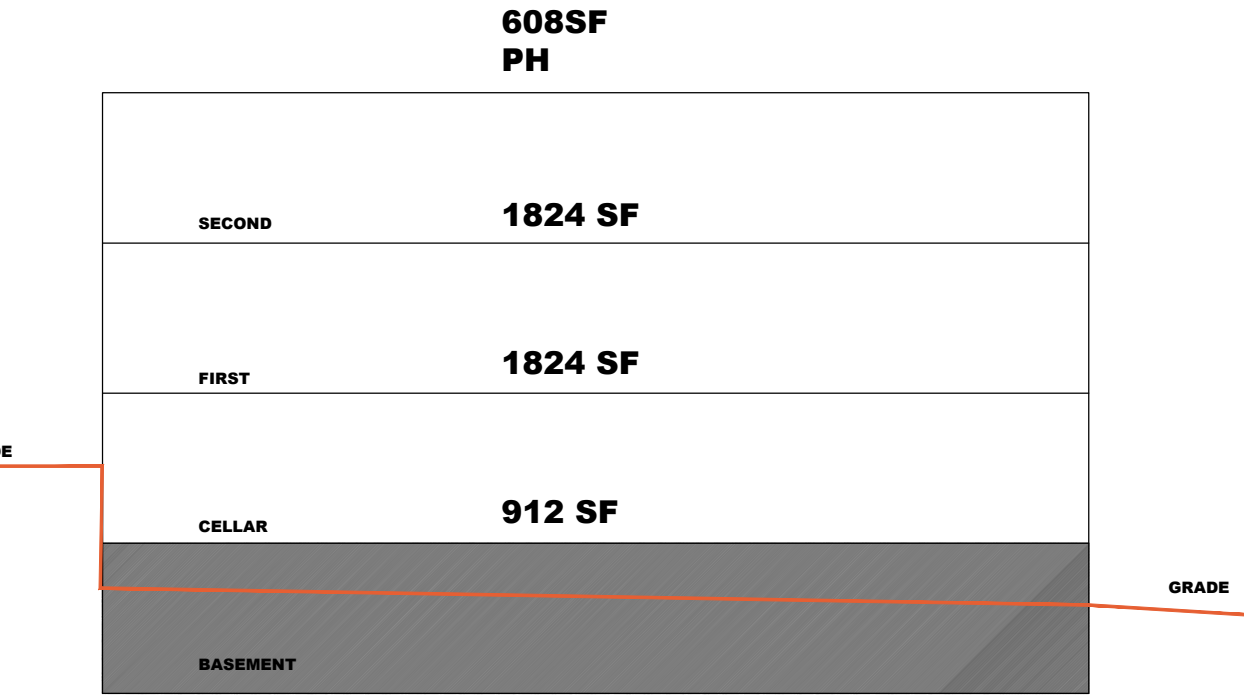
2504 41ST SITE SECTIONS - FOR FAR CALCULATIONS



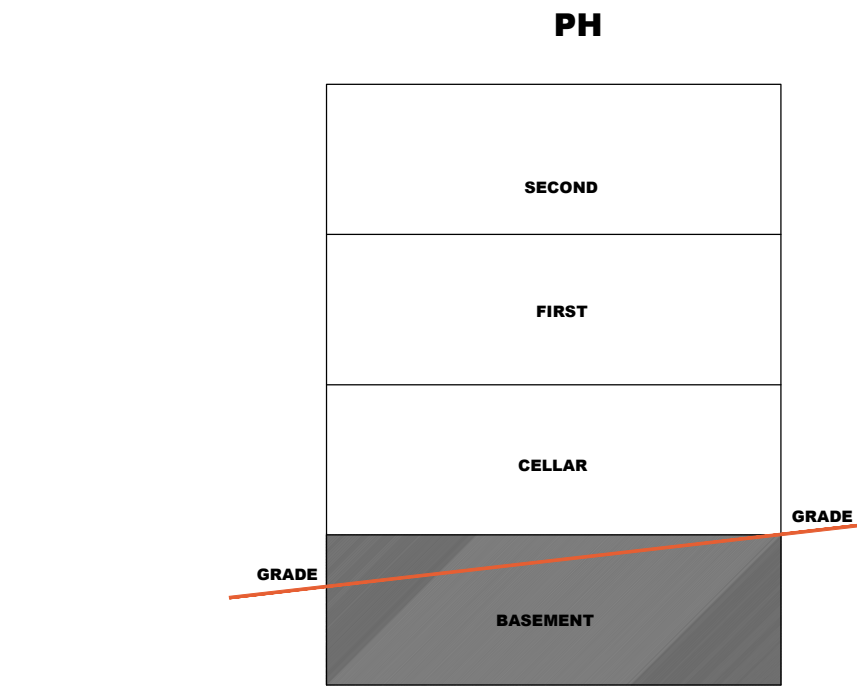
FRONT TO BACK - SOUTH SIDE



FRONT FACADE - EAST SIDE

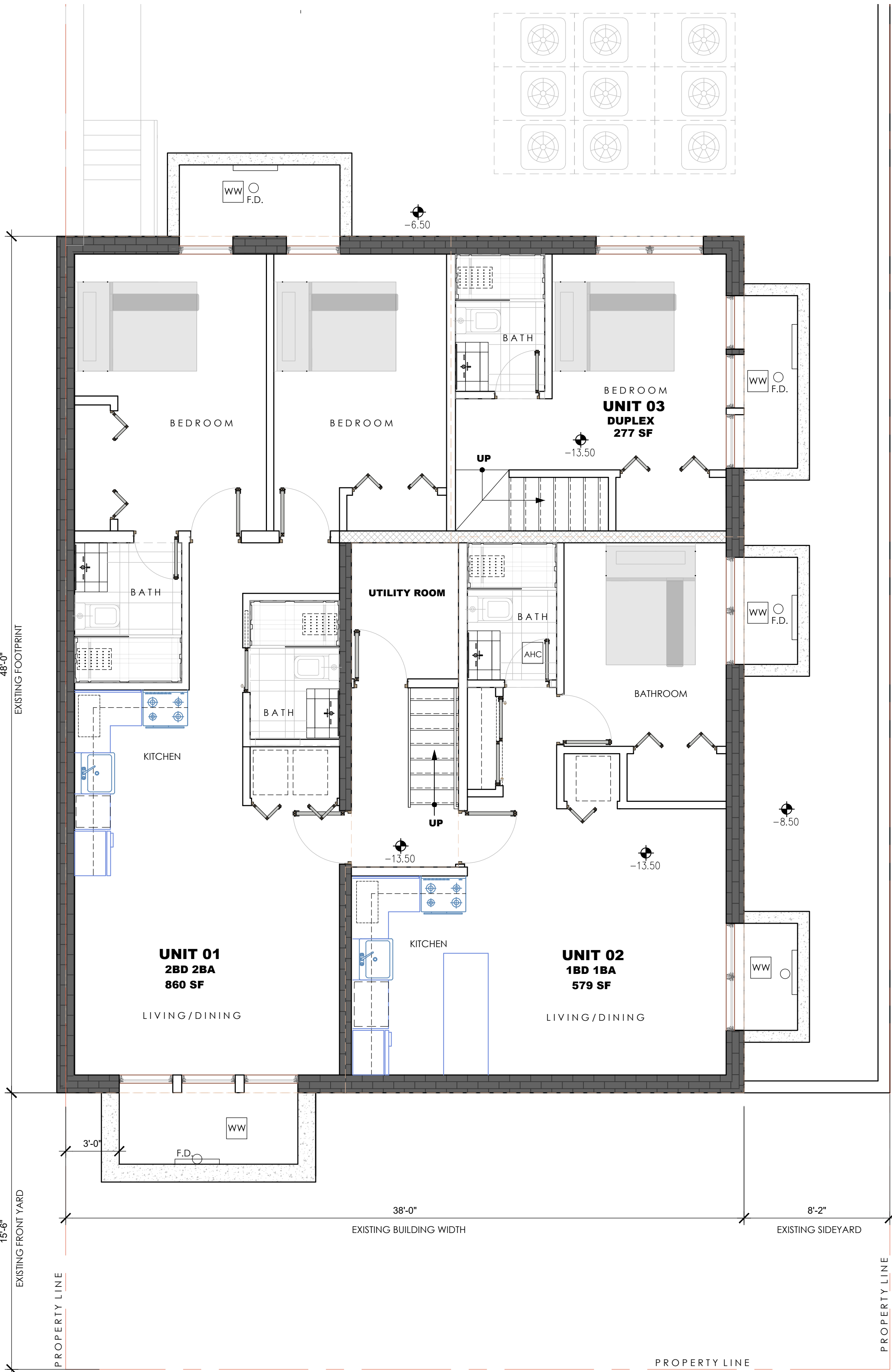


FRONT TO BACK - NORTH SIDE



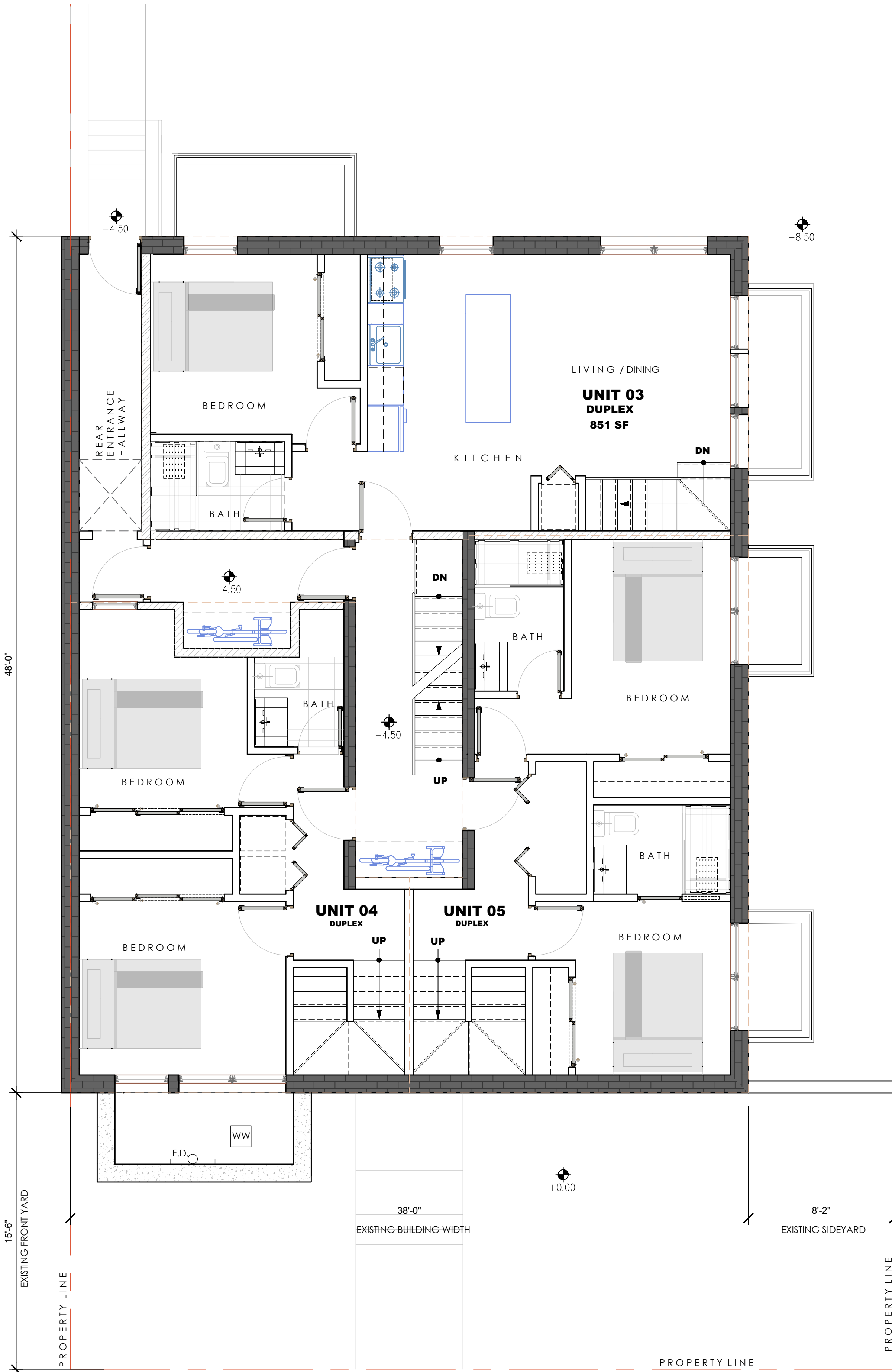
REAR FACADE - WEST SIDE

FAR TOTAL : 4532 SF (0.86) < 0.9
LOT AREA : 5253 SF



1 CELLAR 2 FLOOR PLAN
SCALE: 1/4" = 1'-0"

GFA : 1824 SF FAR : EXEMPT



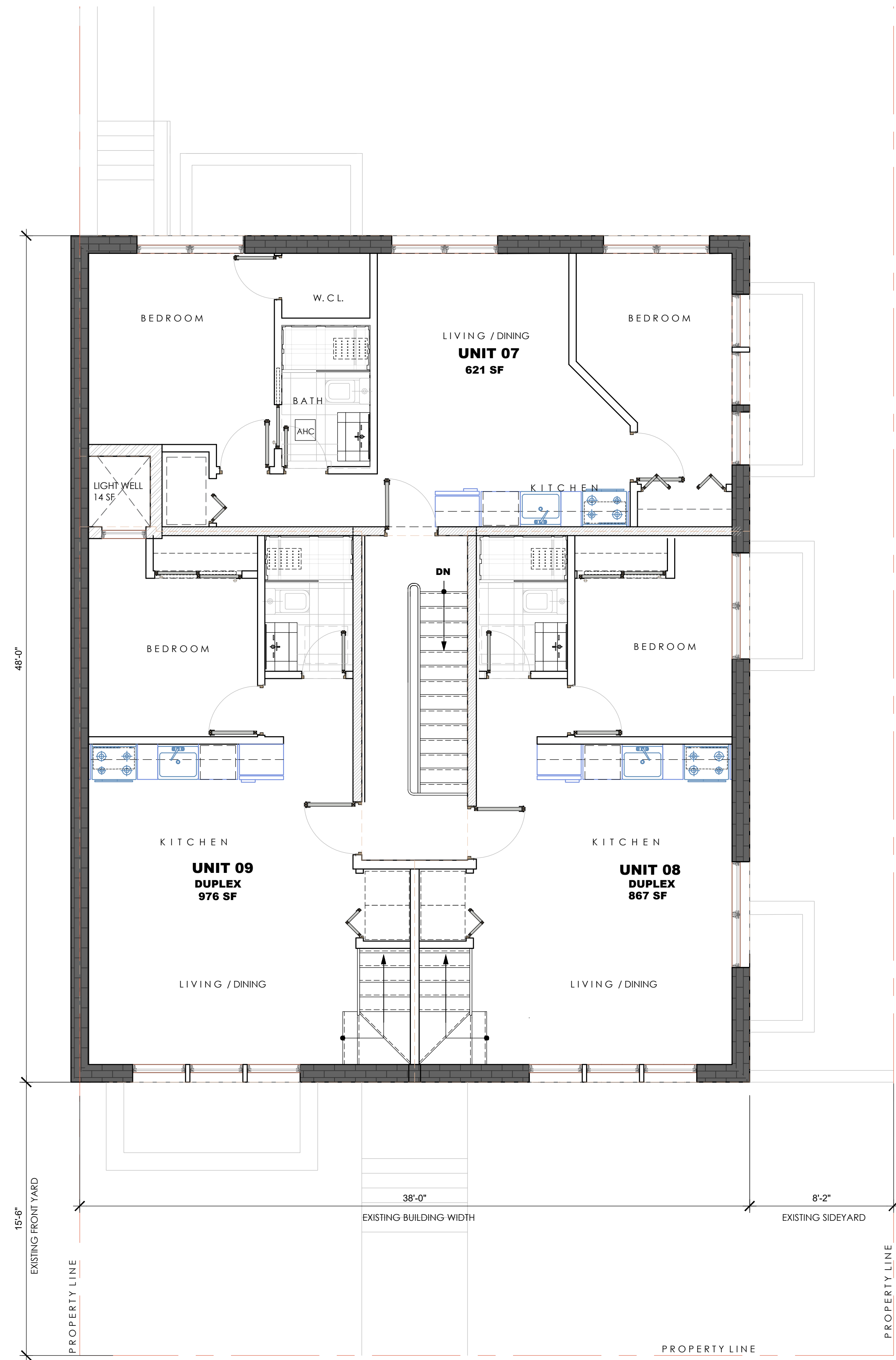
2 CELLAR 1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

GFA : 1824 SF FAR : 912 SF
FLOOR ELEVATION < 59" FROM LOWEST ADJACENT GRADE



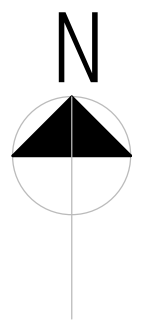
1 | FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

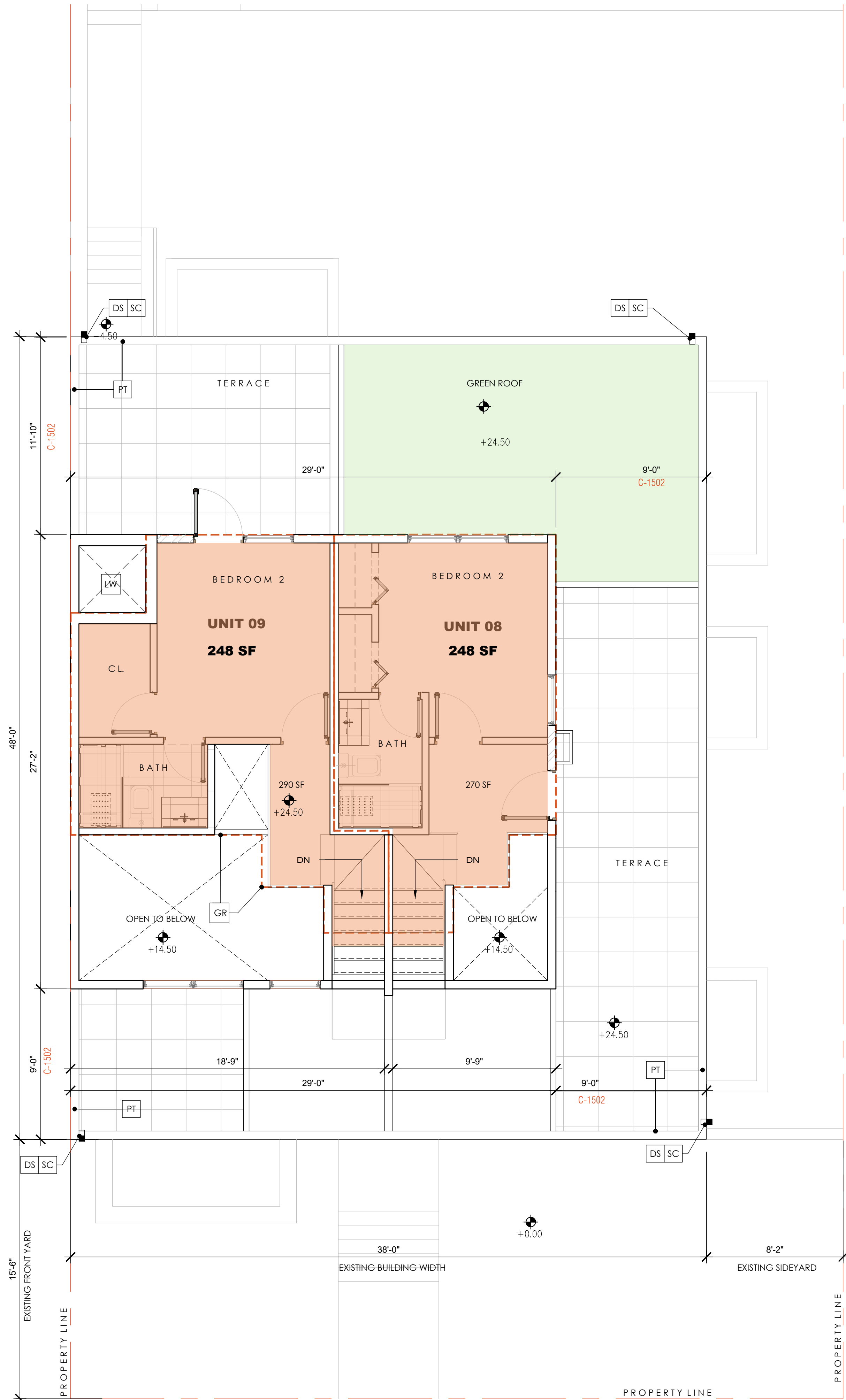
GFA : 1824 - 14 = 1810 SF FAR : 1810 SF LIGHT WELL : 14 SF



2 | SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

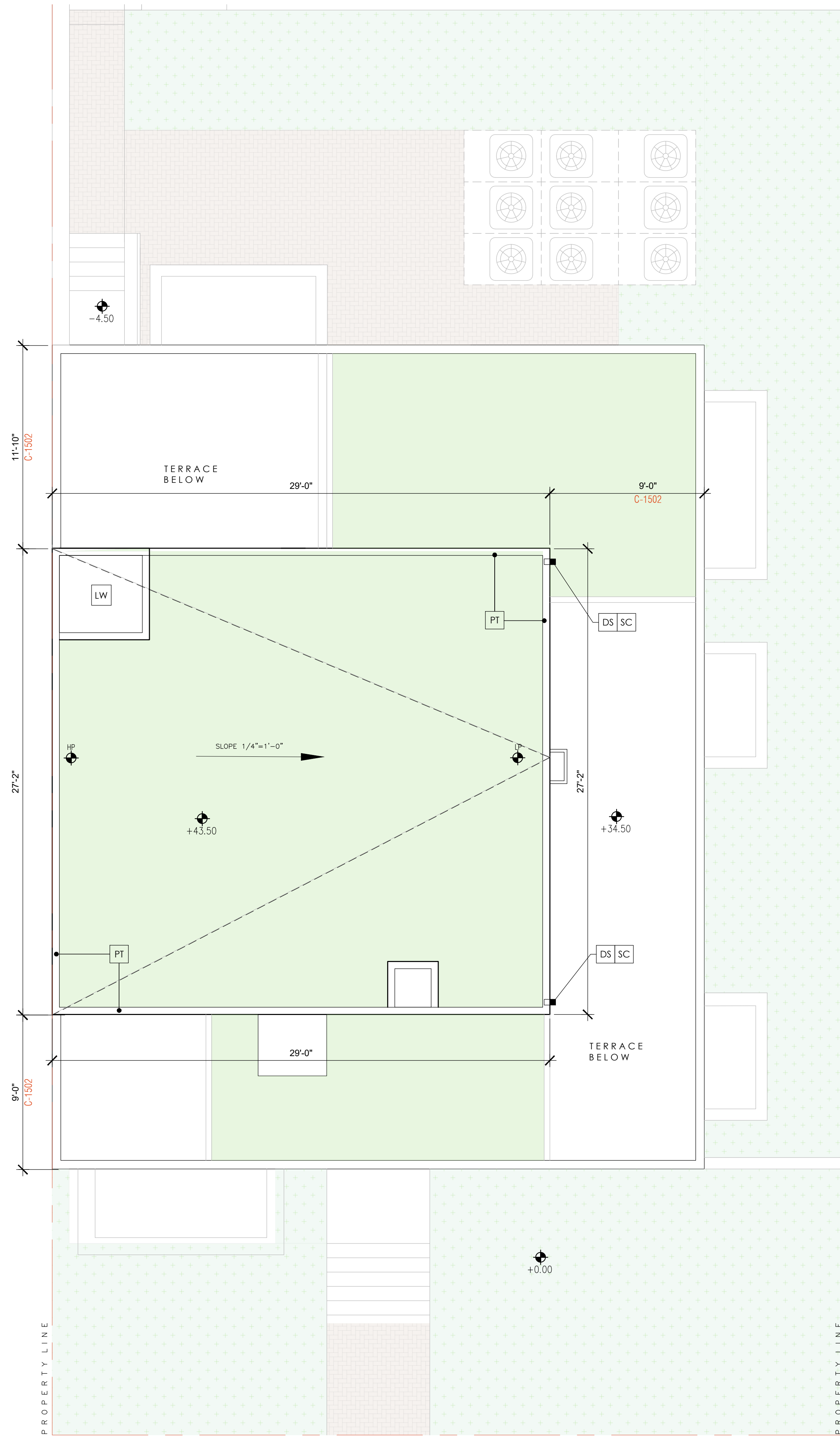
GFA : 1824 - 14 = 1810 SF (FAR : 1810 SF)
TOTAL FAR (CELLAR, 1ST, 2ND FLOOR) = 4532 SF (0.86 < 0.9)



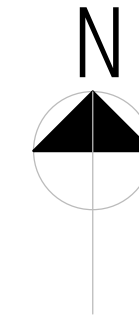


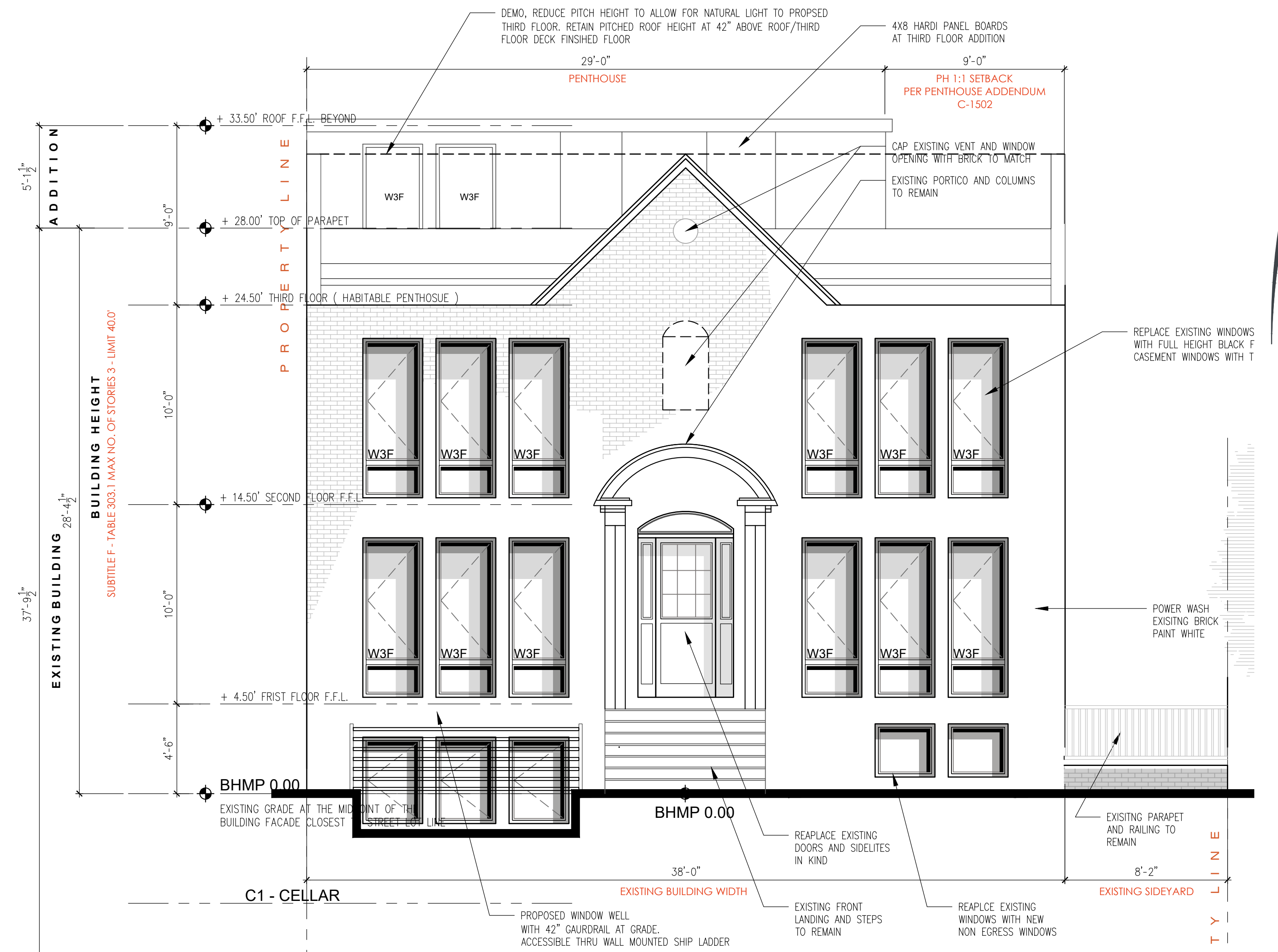
1 | THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

GFA : 496 SF
FAR = 496 SF



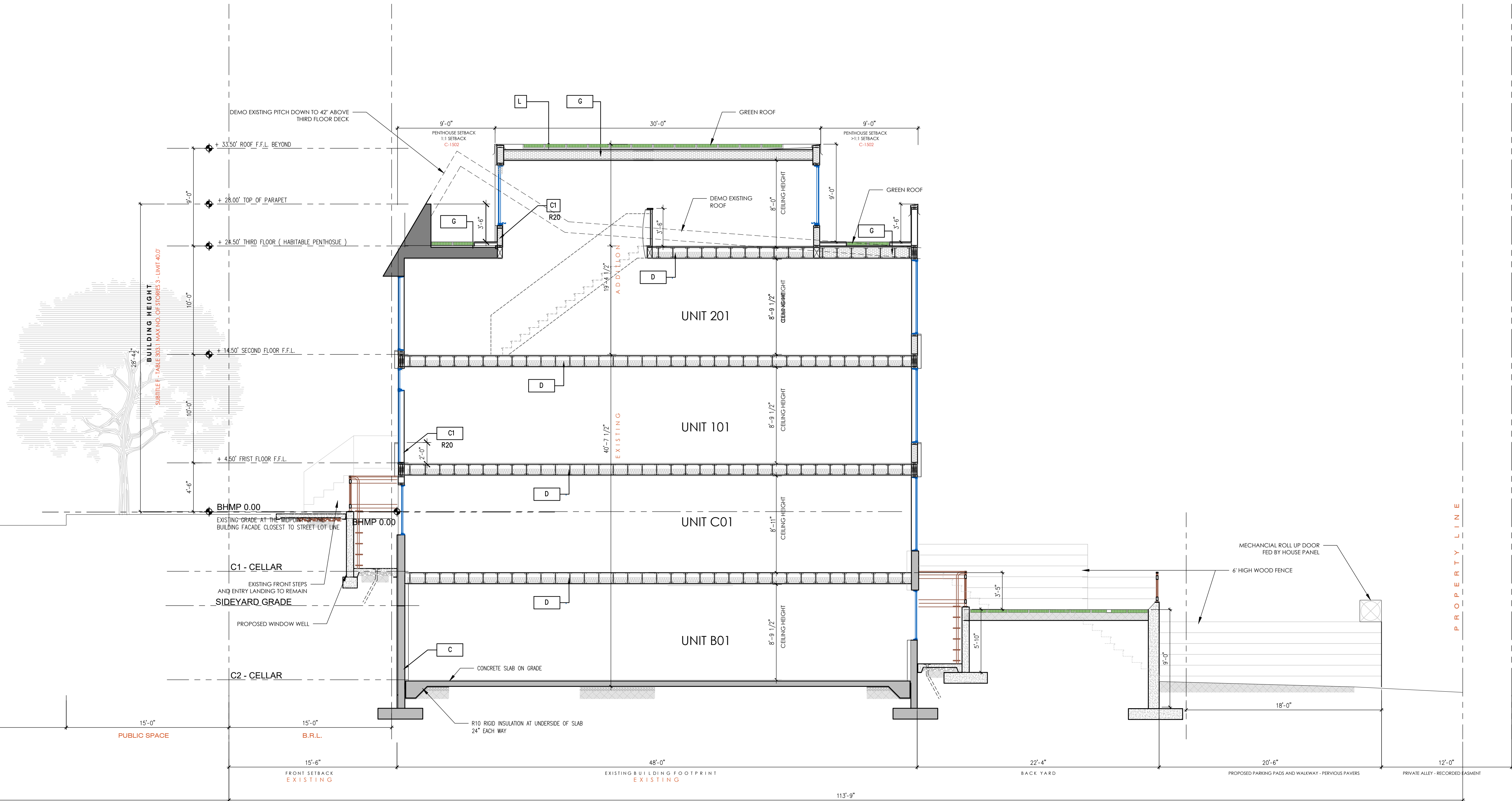
2 | ROOF PLAN
SCALE: 1/4" = 1'-0"

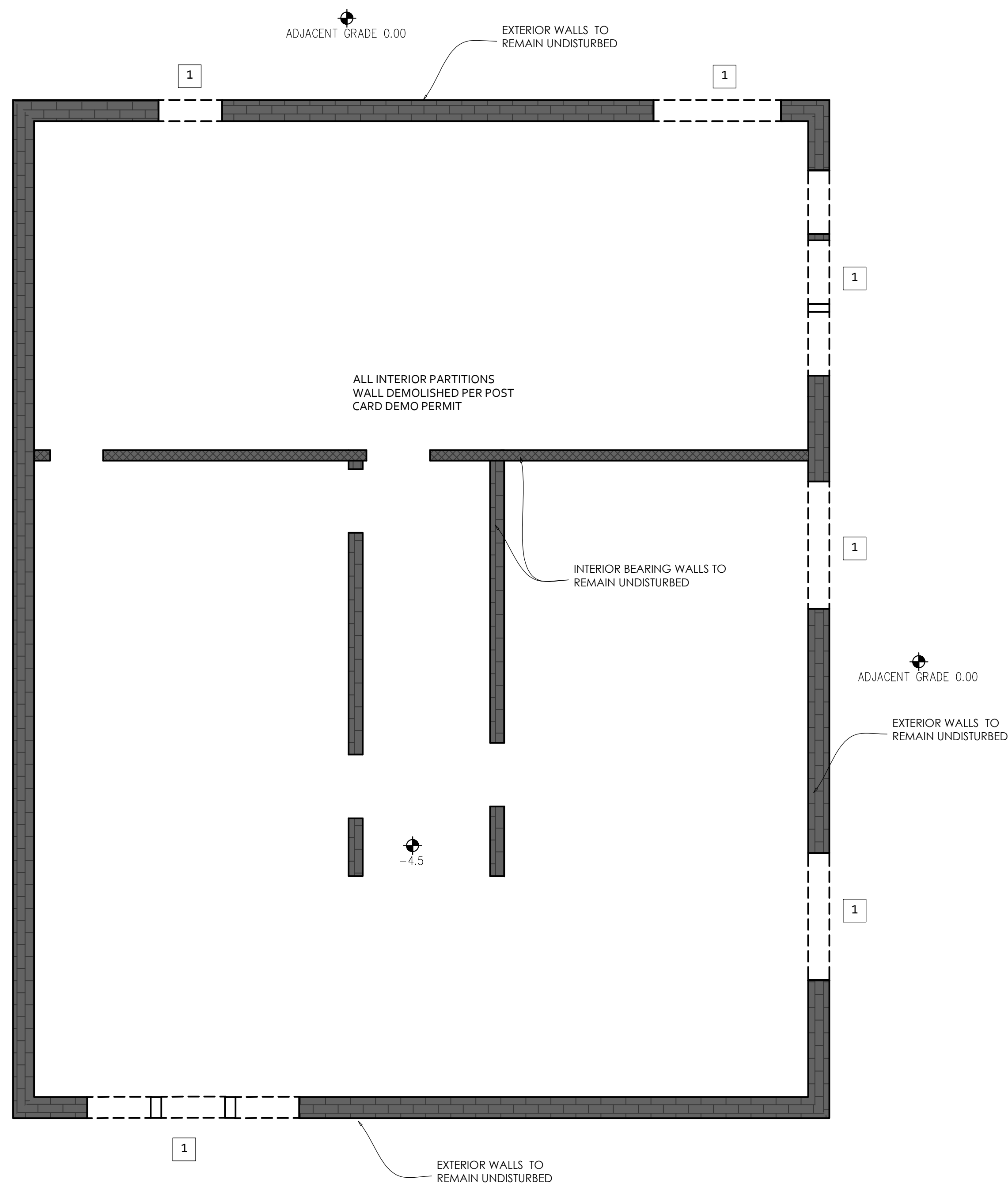
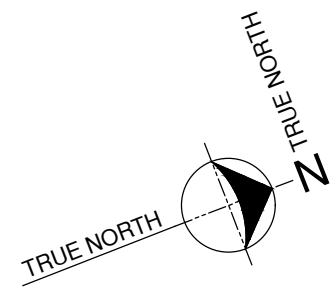




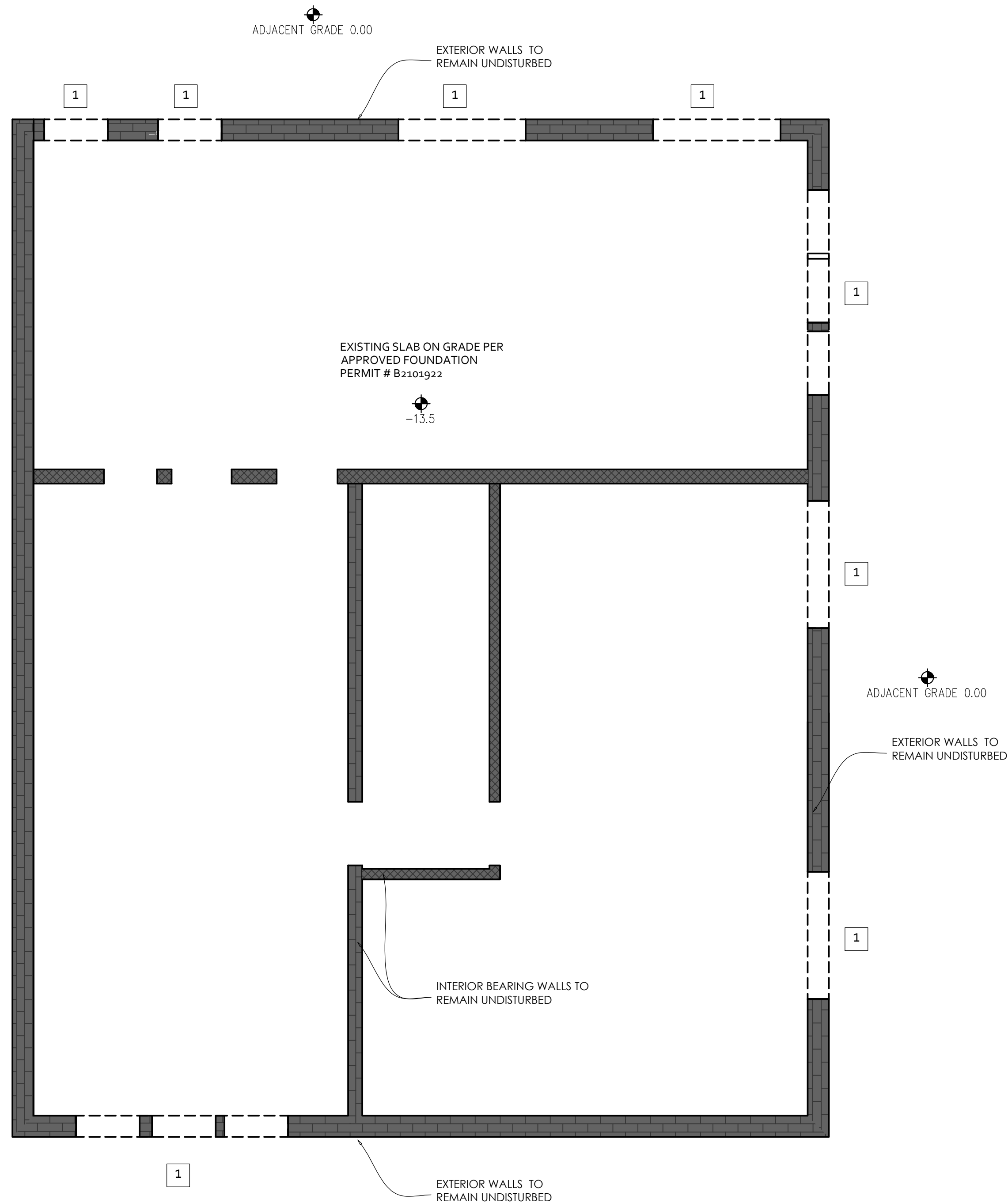


1 | SIDE ELEVATION
SCALE: 1/4" = 1'-0"





1 UPPER CELLAR FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"



2 LOWER CELLAR FLOOR DEMO PLAN
SCALE: 1/4" = 1'-0"

DEMOLITION

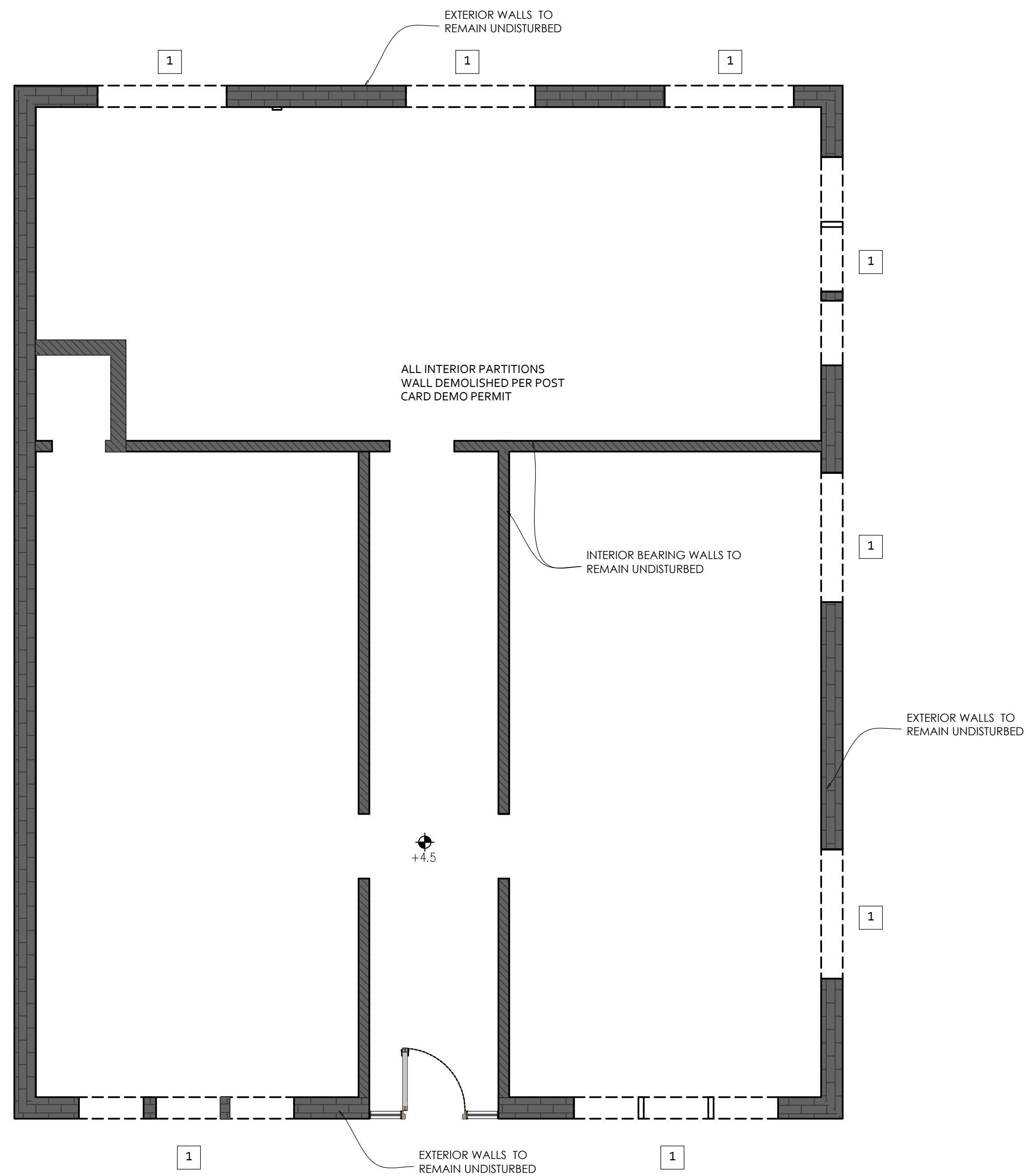
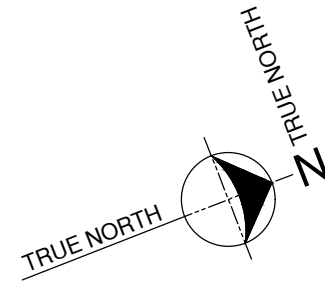
EXISTING STRUCTURE

#

DEMO NOTE TAG

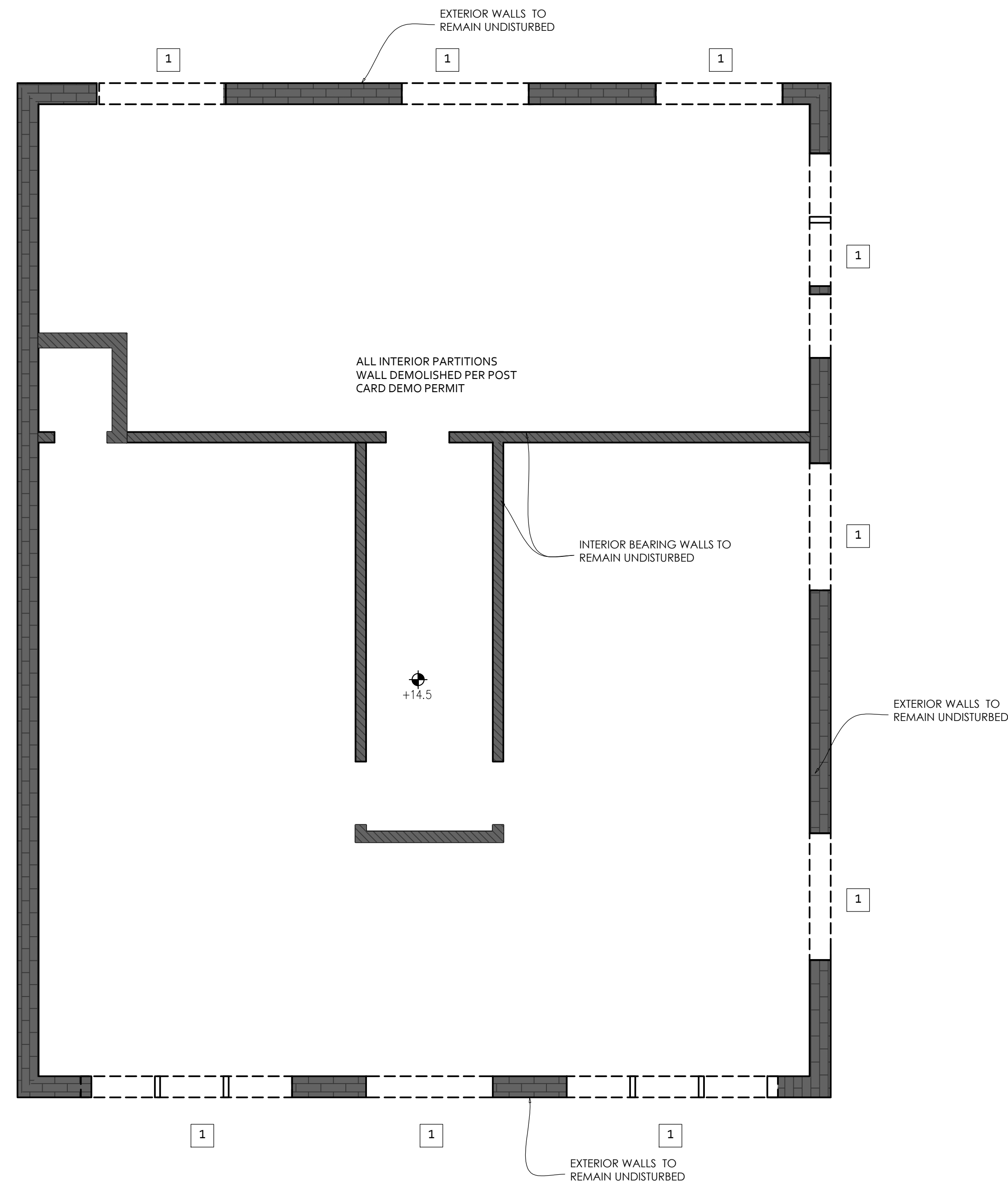
1

PARTIAL DEMO EXISTING WALL FOR NEW DOOR/WINDOW OPENING



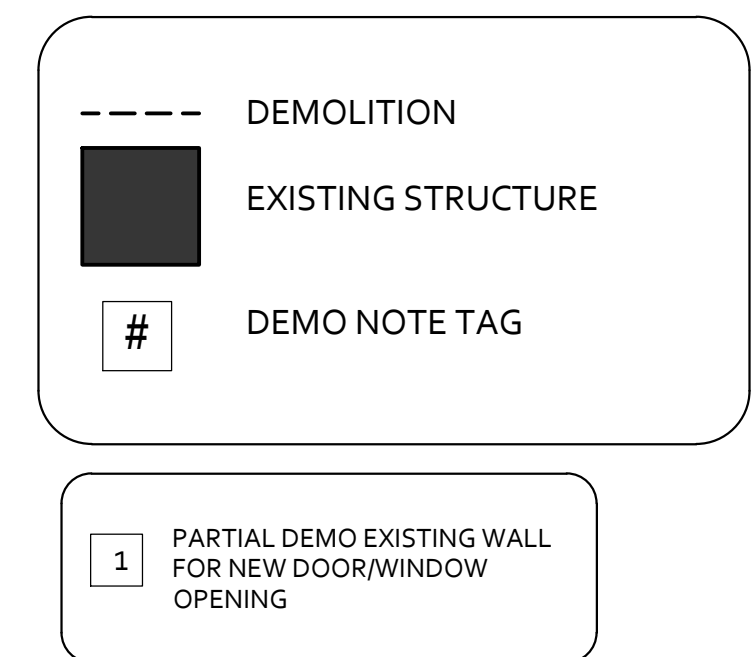
1 FIRST FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



2 SECOND FLOOR DEMO PLAN

SCALE: 1/4" = 1'-0"



2504 41st STREET NW

I AM RESPONSIBLE FOR DETERMINING THAT THE ENGINEERING DESIGNS INCLUDED IN THIS APPLICATION ARE IN COMPLIANCE WITH ALL LAWS AND REGULATIONS OF THE DISTRICT OF COLUMBIA. I HAVE PERSONALLY PREPARED, OR DIRECTLY SUPERVISED THE DEVELOPMENT OF, THE ENGINEERING DESIGNS INCLUDED IN THIS APPLICATION.

SEAL	
DATE OF RECORD	
PERMIT SET	
CONSTRUCTION SET	

DEMOLITION
PLANS

D02

RAMDESIGN

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DISTRICT OF COLUMBIA GOVERNMENT
OFFICE OF THE SURVEYOR

Washington, D.C., November 25, 2020

Plat for Building Permit of :

SQUARE 1708 LOT 5

Scale: 1 inch = 20 feet

Recorded in Book 107 Page 121

Receipt No. 21-01222

Drawn by: A.S.

Furnished to: RAMY ALI

"I hereby certify that the dimensions and configuration of the lot(s) hereon depicted are consistent with the records of the Office of the Surveyor unless otherwise noted, but may not reflect actual field measurements. The dimensions and configuration of A&T lots are provided by the Office of Tax and Revenue and may not necessarily agree with the deed description(s)."


Surveyor, D.C.

I hereby certify that on this plat on which the Office of the Surveyor has drawn the dimensions of this lot, I have accurately and completely depicted and labeled the following:
1) all existing buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, and any existing face-on-line or party wall labeled as such, well as projections and improvements in public space - with complete and accurate dimensions;
2) all proposed demolition or raze of existing buildings duly labeled as such; all proposed buildings and improvements - including parking spaces, covered porches, decks and retaining walls over four feet above grade, any existing face-on-line or party wall labeled as such, as well as projections and improvements in public space and the improvements used to satisfy pervious surface or green area ratio requirements - with complete and accurate dimensions, in conformity with the plans submitted with building permit application **B2102258**; and
3) any existing chimney or vent on an adjacent property that is located within 10 feet of this lot.

I also hereby certify that:
1) my depiction on this plat, as detailed above, is accurate and complete as of the date of my signature hereon;
2) there is no elevation change exceeding ten feet measured between lot lines; or if so, this elevation change is depicted on a site plan submitted with the plans for this permit application;
3) I have/have not (circle one) filed a subdivision application with the Office of the Surveyor;
4) I have/have not (circle one) filed a subdivision application with the Office of Tax & Revenue; and
5) if there are changes to the lot and its boundaries as shown on this plat, or to the proposed construction and plans as shown on this plat, that I shall obtain an updated plat from the Office of the Surveyor on which I will depict all existing and proposed construction and which I will then submit to the Office of the Zoning Administrator for review and approval prior to permit issuance. The Office of the Zoning Administrator will only accept a Building Plat issued by the Office of the Surveyor within the two years prior to the date DCRA accepts a Building Permit Application as complete.
I acknowledge that any inaccuracy or errors in my depiction on this plat will subject any permit or certificate of occupancy issued in reliance on this plat to enforcement, including revocation under Sections 105.6(1) and 110.5.2 of the Building Code (Title 12A of the DCMR) as well as prosecution and penalties under Section 404 of D.C. Law 4-164 (D.C. Official Code §22-2405).

Signature: 
Date: 02.05.2021

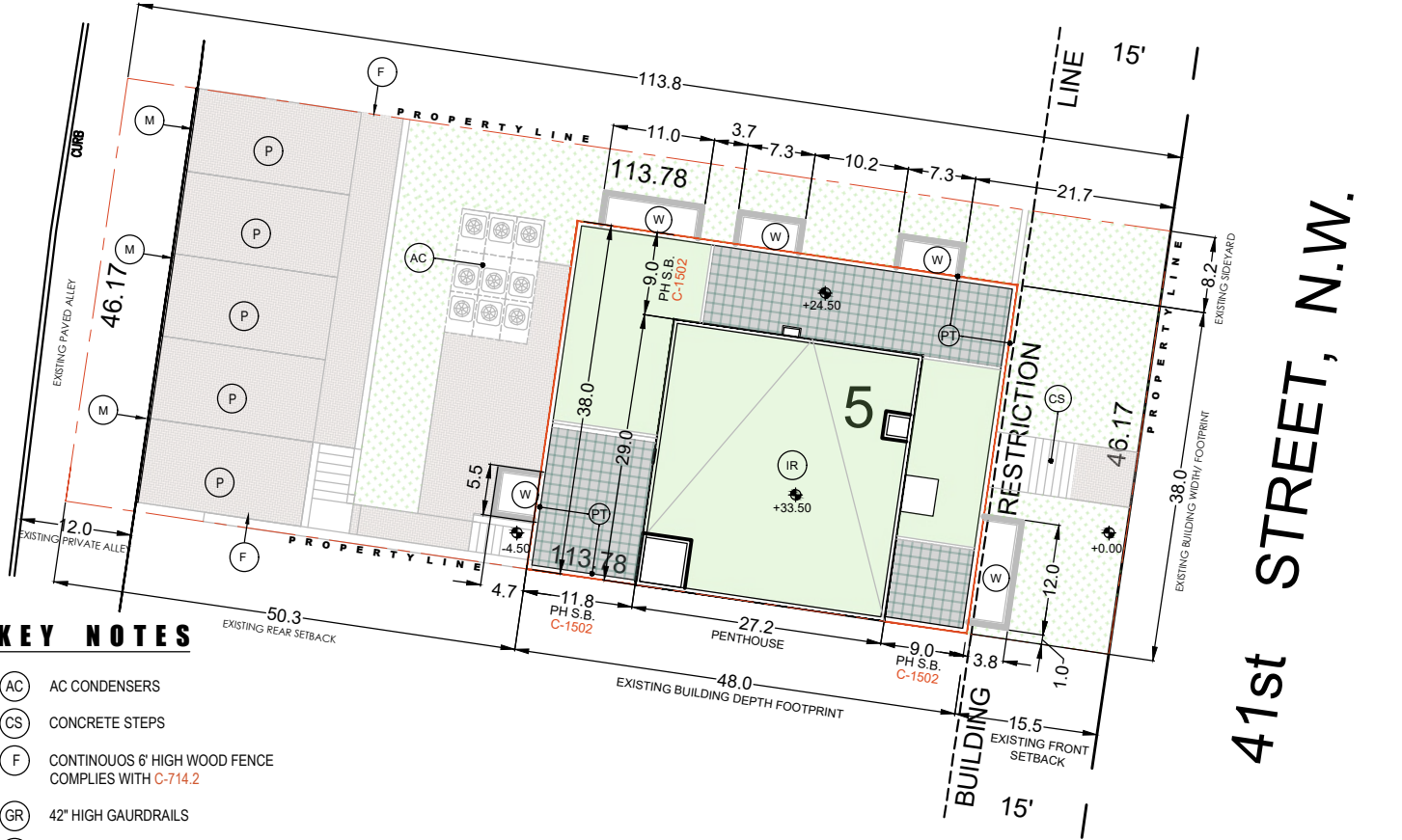
Printed Name: RAMY ALI Relationship
to Lot Owner: AGENT

If a registered design professional, provide license number
and include stamp below.

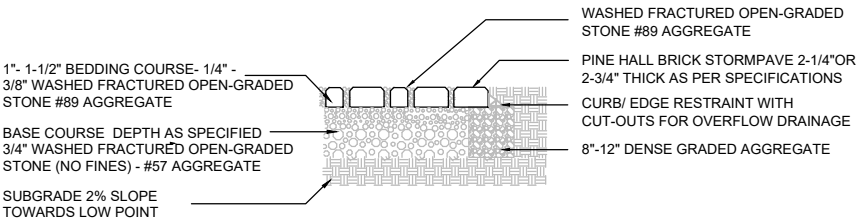


SQUARE 1708

ZONING DISTRICT : RA-1 LOT AREA 5253 SF ADDRESS : 2504 41ST ST NW	PARKING (SUBTITLE C. SECTION 701.50) RESIDENTIAL, MULTIPLE DWELLING UNIT 1 PER 3 DWELLING UNITS IN EXCESS OF 4 UNITS (9 - 4) / 3 = 2 (5 SPACES PROVIDED) (SUBTITLE C. SECTION 702.1 A.B.C.) EXEMPTIONS FROM MINIMUM PARKING REQUIREMENTS : NONE	BUILDING HEIGHT (SUBTITLE G. SECTION 403.1) (SUBTITLE B. SECTION 307.1) EXISTING PROPOSED NUMBER OF STORIES 2 2 BUILDING HEIGHT 24.5 24.5 CELLAR YES YES PENTHOUSE NONE 9.0'	SETBACKS (SUBTITLE G. SECTION 405-406) EXISTING PROPOSED FRONT 15.5' 15.5' REAR (2.5"/12") (MIN. 20.0') 50.3' 50.3' SIDE (LEFT) 0.00' 0.00' SIDE (RIGHT) F.306.2B 8.20' 8.20'
BUILDING TYPE-USE (SUBTITLE U. SECTION 401.1.D.1) MULTIFAMILY APARTMENT BUILDING - 9 UNITS	PERVIOUS SURFACE CALCULATIONS GRASS : 1,553 SF PAVERS : 1,285 SF GREEN ROOF : 1,122 SF	LOT OCCUPANCY (SUBTITLE G. SECTION 404.1) EXISTING PROPOSED 1824 sf 1824 sf 34.72 % 34.72 %	
FAR (SUBTITLE G. SECTION 402.1) MAX. PERMITTED FLOOR AREA RATIO : 0.90 PROPOSED FAR : 1810 X 2.5 = 4525 SF (0.86)			



- KEY NOTES**
- AC AC CONDENSERS
 - CS CONCRETE STEPS
 - F CONTINUOUS 6" HIGH WOOD FENCE COMPLIES WITH C-714.2
 - GR 42" HIGH GAURDRAILS
 - PT 42" HIGH PARAPET
 - M 16" WIDE MECHANICAL ROLL UP DOORS COMPLIES WITH C-714.2
 - IR INACCESSABLE ROOF
 - W WINDOW WELL W/42" HIGH G.RAIL
 - P STANDARD SIZE 9 X18 PARKING PAD ON PAVERS
 - GA PEDESTRIAN 36"WX72"H GATE
 - P.H. PENTHOUSE
 - S.B. SETBACK
 - EN BUILDING ENTRANCE



PERMEABLE - RESIDENTIAL INSTALLATION
SCALE: NOT TO SCALE